



New Home Inspections

BUILDING CONSULTANTS AND QUALITY INSPECTORS

FRAME STAGE INSPECTION REPORT AND DEFECTS LIST

Address of Subject Property:
55 Sample Pde, Sampleville

Client:
Mr John Sample

Our Reference – 09/***

Date of Inspection – Friday 13th March 2009

Start Time of Inspection – 11:30 am

Prevailing Weather Conditions – Fine

Builder – @@@@@ Homes

Date of Report – Wednesday 18th March 2009

Client Brief

I was instructed to inspect the client's property and to prepare a report with comments on whether any defects exist in the finished quality of the framework and/or any other item prior to the installation of the plaster, for which the rectification of, could reasonably be expected to be the responsibility of the builder.

Property Details

Dwelling Type:- House & Garage	Main Construction Type:- Brick Veneer
Class of Buildings:- BCA 1a and 10a	Dwelling Configuration:-Single Storey
Stage of Building Works:- Frame	Footing Type:- Concrete Slab

Inspection & Report Particulars

My inspection is a visual inspection of the finishes and the quality of those finishes presented by the Builder at the time of my inspection. This report contains a 'Schedule of Building Defects' that lists the items that in my judgment do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner in relation to the Building Acts & Regulations, the Building Code of Australia (BCA), any relevant Australian Standard, any manufacturers installation instructions or the acceptable standards & tolerances as set down by the Building Commission of Victoria.

Client Authority

None of the rectification methods, procedures or products suggested within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the BCA. Therefore, depending on the rectification works required, the builder must obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be necessary.

This report must be read by the builder in addition to any list or other correspondence provided by the owner/s.

Terms & Conditions

All site inspections, meetings, this report, all future reports, correspondence and advice that I provide in relation to this property, whether written or verbal, are provided subject to the limitations and exclusions detailed in the standard terms and conditions set out on the last page of this report.

Access

Access was gained to all required areas in accordance with clause 6 of the terms and conditions listed on the last page of this report.

Inspection Notes

At the time of my inspection – 1/. The roof tiles had been installed; 2/. The wall sarking had been installed; 3/. The plumbing pipework within the Ensuite floor slab was all incorrectly placed, which will require considerable rectification; 4/. I had not been provided with a copy of the roof truss layout.

Summary

A check of the framework found the walls had been plumbed to within the allowable tolerances and the trusses and joists were bearing correctly onto the wall frames and connected properly. Generally, the framing materials are of a fairly good quality and put together well, however the items detailed in the attached schedule of building defects require further attention and/or rectification/justification prior to this home proceeding to the next stage.

Should the reader of this report have any additional queries or questions in relation to the items set out within it, please do not hesitate to contact the writer via any of the methods detailed at the bottom of this page.

Yours faithfully,



Kevin McDonald.

Please direct all postal correspondence to: P.O.Box 448, Patterson Lakes 3197.

Email: office@newhomeinspections.com.au

Office Phone for Inspection Enquiries & Bookings: 0421 311 694


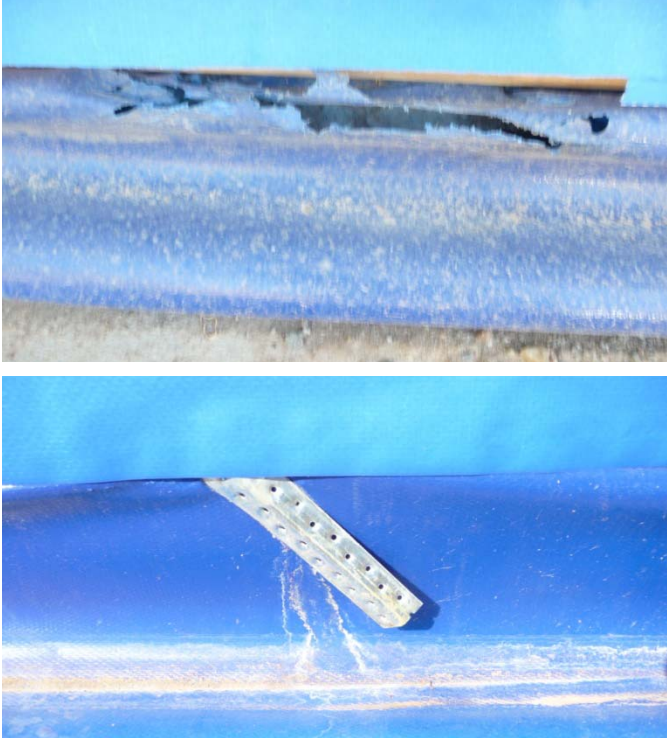
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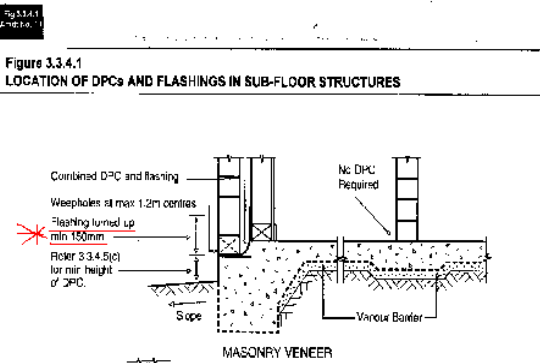
Fax: 9772 8205

SCHEDULE OF BUILDING DEFECTS

Defective Item	Observations, Considerations and Recommendations:-
Compromised Slab	<p>The edge beam of the concrete slab and the steel reinforcement within it along the side of the Master Bedroom has been cut through for the installation of the electrical service pipe.</p>  <p>This cut through edge beam and steel reinforcement must be inspected by the original design engineer, who should make recommendations on how best to rectify the compromised integrity of this slab and also on how best to treat the exposed steel reinforcement to stop it from rusting.</p> <p>The owners should ensure that the rectification works are carried out under the full supervision of the relevant Building Surveyor.</p>
Termite Protection	<p>The perimeter termite barrier that has been installed in under the timber bottom plate has been torn across the front and down the left hand side of the Master Bedroom; as well as under the Family room sliding doorframe; has not been detailed around the above mentioned electrical service pipe, which will now require it to be cut; the wall braces across the rear walls appears to be too long and will penetrate this barrier when it is turned up across the cavity; and has not been installed at all around the timber nib wall between the front Porch and the Garage.</p> 

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Defective Item	Observations, Considerations and Recommendations:-
Termite Protection (cont.)	 <p>The present installation of this termite barrier must be properly repaired, detailed and installed as required and wall braces trimmed back so that they do not penetrate it. Attention should also be given to the future connection of the bath wastes.</p>

Concrete Slab Rebate/ Damp-proof Course	<p>The builder has not installed a step down between the Garage floor and front Porch slab heights, nor have they constructed the front Porch with any fall on it to move any surface water away from this area.</p>  <p>The problem with the current construction detail is that the load-bearing wall plate between these areas is only plain ordinary <u>untreated radiata pine</u>, which has little or no resistance to timber rot.</p> <p>The present construction will leave the damp-proof course/cavity flashing at the same height as the Porch floor, which will allow water and moisture to migrate in under the brickwork and into the pine bottom plates, which will cause it to rot out and fail.</p> <p>Part 3.2.2.7 Edge Rebates of the BCA, requires that <i>'an edge rebate for waffle raft slabs with masonry cavity or veneer construction must not be less than 20mm; and that the edge rebate must be flashed and drained in accordance with Part 3.3.4.'</i></p> <p>Part 3.3.4.5 Damp-proof courses-installation of the BCA requires that <i>'damp-proof courses must be located in accordance with Figure 3.3.4.1 to form a continuous damp-proofing barrier around the building.'</i></p>  <p><i>Note that the damp-proof course is located below the top of the concrete slab.</i></p>
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Defective Item	Observations, Considerations and Recommendations:-
Concrete Slab Rebate/ Damp-proof Course (cont.)	<p>Also, Part 3.1.2.3 Surface Water Drainage of the BCA, requires that <i>'the external finished surface surrounding a slab-on-ground must be drained to move surface water away from a Class 1 building and graded to give a slope of not less than 50mm over the first 1 metre from the building.'</i></p> <p>The builder will have to re-construct this area to fully comply with these requirements of the BCA, and to stop the structural framing members in this area from failing prematurely from timber rot.</p>
Engineers Design	<p>The side Dining room window opening studs have been installed using MGP10 pine, however the engineers design calls for double 90 x 45 F17 KDHW to be used and fixed in accordance with the detail specified in detail B on Drawing No. 4 of their design.</p> <p>These F17 KDHW opening studs must be properly installed and fixed in accordance with the approved engineers design.</p>
	<p>The galvanised straps that are detailed on Drawing 7 to be fitted over the studs and plates at the ends of the BR2 & BR3 angled wall braces have not been installed and will need to be in accordance with the approved engineers design.</p>
	<p>The 2.4metre long BR2 wall brace that is detailed on Drawing 6 to be fitted to the Sitting room/Kitchen wall has not been installed and will need to be in accordance with the approved engineers design.</p>
	<p>The 2nd 1.8metre long BR2 wall brace that is detailed on Drawing 6 to be fitted to the Sitting room/WIR wall has not been installed and will need to be in accordance with the approved engineers design.</p>
	<p>The double 45mm thick studs detailed on Drawing 3 to be fitted into the Bed 4/Home Theatre wall under the girder truss has only been using 35mm thick studs and will need to be rectified in accordance with the approved engineers design.</p>
Windows	<p>Most of the window frames are currently too tight up to the underside of the head trimmers and/or are lacking the required clearance.</p> <p>It is a requirement of Australian Standard, A.S 1684.4-2006 Residential Timber-Framed Construction, clause 6.2.3 Openings, that <i>'A minimum clearance of 15mm shall be provided between the underside of the lintel or lintel trimmer and the top of the window frame'</i>.</p> <p>These openings must be modified to achieve this required clearance.</p>
Lintels	<p>The 2700mm wide opening for the Bedroom 4 robe head does not contain a lintel to support the top plate that run across it.</p> <p>It is a requirement of Australian Standard, A.S 1684.2-2006 Residential Timber-Framed Construction, clause 6.3.6.5 Lintels in Non-Loadbearing Internal Walls, that <i>'Where wall openings wider than 1200mm occur in non-loadbearing internal of external walls, a lintel shall be provided and the size of the lintel shall be determined from Span Table 23'</i>.</p> <p>The builder must establish the correct sized lintel for these opening (240 x 35 MGP10 or similar) and install it into them in compliance with the requirement of A.S 1684.2-2006.</p>
Posts to Beams	<p>The post supporting the beams around the Portico has not been bolted into it.</p> <p>It is a requirement of Australian Standard, A.S 1684.2-2006 Residential Timber-Framed Construction, clause 9.5 Nominal Fixings (Minimum Fixings), that <i>'Verandah beams and roof beams shall be joined to posts with 1/M12 or 2/M10 bolts'</i>.</p> <p>The fixing and tie-down detail of these beams to these posts must be properly rectified in compliance with this requirement of A.S 1684.2-2006.</p>
Roof Trusses	<p>The diagonal speedbracing that runs across the tops of the trusses has not been fixed to the wall plates correctly.</p> <p>The manufacturer's installation guidelines state that <i>'at the heel bend the speedbrace to the side of the top plate and in under the plate. Fix with two nails to the side and three nails to under the plate. Nails must be no closer than 10mm to the edge of the timber.'</i></p> <p>The fixing of the speed bracing must be rectified in accordance with the above.</p>
Floor Wastes	<p>There have been floor waste pipes installed into the Laundry, Bathroom and Ensuite but the floors have not been graded towards them?</p>
Shower Walls	<p>The shower walls have been checked out for the installation of polymarble bases but tiles in situ bases are to be installed, so this framework will need to be rectified.</p>

--:End of Schedule:--

1. Engagement

My engagement is confined to that of a Building Consultant and not that of a Building Surveyor or Inspector as defined in the Building Act of 1993. I do not hold qualifications as an Engineers, Land Surveyors or Pest & Timber Infestation Inspector and therefore have not check and make no comment on:- 1/. The structural integrity of the building; 2/. The capacity and/or consistency of the sites foundation material; 3/. The correctness of the buildings footing system; 4/. The site and roof drainage systems; 5/. The title boundaries and the location of any easements and/or their assets; 6/. The buildings boundary setbacks; 7/. Compliance with any requirement of Part 4, Siting, of the Building Regulations; 8/. Glazing for compliance with their codes and standards; 9/. The presents of termites & borers or at the completeness of any termite risk management procedures and barriers; 10/. All other requirements that are the responsibility of the above mentioned professions.

2. Assumptions

My inspection is carried out on the quality of the fixtures, fittings and materials as installed and presented at the time of my inspection and I rely on as fact that they have been installed in accordance with their manufacturer's installation instructions and/or designer's specification, including all associated and substrate works.

It is also assumed during our site inspection that all items identified in any previous report in relation to this property have been rectified to the owner's satisfaction unless they were specifically detailed to us in writing prior to this inspection being carried out as outstanding.

3. Documentation

Documentation made available to me during my inspections and for use in the preparation of my correspondence and reports is only viewed on an informal basis and I make no certification that the building has been constructed in accordance with it.

4. Non-Destructive Inspection

My inspection is carried out on a non-destructive basis and excludes anything that would require the removal of any fixture, fitting, cladding, insulation, sarking, membrane, roof covering, lining material or the excavation of any soil.

5. Measurements/Levels

Measurements taken during my inspections are with a standard 4 fold carpenters ruler or 8 metre steel tape; and levels with either a 900 or 2000mm long spirit level, unless otherwise stated within this report.

6. Access

My inspections are limited to areas that can only be safely accessed with the standard equipment that I carry, being a 1500mm high set of aluminium steps, and that can be readily accessed without causing me to breach any of WorkSafe Victoria's current Code of Practices or any part of the current Occupational Health and Safety Act.

7. Services, Appliances, Plant and Equipment

I do not test or check for appropriateness, capacity, correct installation & connection, certification, or completion of any service, appliances, plant and/or equipment, i.e. heaters, hot water units, air conditioners, evaporative coolers, ovens, hotplates, dishwashers, rangehoods, spa pump, smoke detectors, electrical & data wiring, duct work, gas lines, electricity supply, water supply, sewer drains, stormwater drains, agricultural drains, water tanks, solar panels, ect.

8. Copyright

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9. Client Use

This report has been prepared for the exclusive use of the party named as the client/s on the front page hereof. Any other person, party or entity that uses or relies on this report without my written consent does so at their own risk and I accept no responsibility for such use.

The party named as the client accepts that by using, referring too, forwarding or causing this report to be forwarded onto a third party, either in part or in full, that they are accepting it as the completed report and agree to make full payment when and as invoiced.

10. Report Reproduction

This report cannot be reproduced in part; it must only be done so in full.

11. Reference

References contained within this report to the Building Acts & Regulations, the Building Code of Australia (BCA), any Australian Standards, a Building Commissions document, a manufacturers technical data sheet or installation instruction, or any other document are neither exhaustive, complete or a substitute for the original document & are provided to facilitate the understanding of this report only. I therefore accept no responsibility for any reliance upon the part references contained within this report.

12. Exclusions

- a) Defects outside the scope of the client brief;
- b) Defects not evident by visual inspection, or only visible from outside the subject properties boundary lines;
- c) Defects in inaccessible parts of the building or site, including but not limited to, areas with limited boundary wall set-backs, the roof space and sub-floor areas;
- d) Defects only apparent in different weather or environmental conditions as to those prevailing at the time of my inspection;
- e) Defects not consider significant enough to warrant any rectification work at the time of my inspection;
- f) Defects that would be rectified as a consequence of any other defect listed within this report;
- g) Defects that I consider to be Work in Progress or already clearly marked for rectification by the builder;
- h) Check measure of rooms, walls and the overall building, for size, height, parallel and squareness unless specifically noted;
- i) Compliance with contractual documents such as electrical, heating & cooling, joinery and detail plans; and colour selection specifications.
- j) Landscaping, retaining walls, or any structures outside the roofline of the main building unless specifically noted;
- k) Enquiries of Councils, the relevant Building Surveyor and/or any Statutory Authority;
- l) Items that meet accepted industry practices and/or generally comply with the Performance Requirements of the BCA even if they are not meeting the Deemed-to-Satisfy provisions of that document.
- m) Minor cracking of cornice and architrave joins; minor alignment of cupboard doors and draw fronts; minor alignment of doors and their latches as it is my considered opinion that these items are best addressed at the maintenance stage.

13. VCAT Compliant

In the normal course of quoting my services, I do not allow to present my reports in accordance with Practice Note 2 under Section 158 of the Victorian Civil and Administrative Tribunal Act 1998. Therefore, if this report is to be submitted to VCAT an additional addendum will have to be prepared and attached to it, the cost of which is in addition to the initial quoted and charged fee.