



New Home Inspections

BUILDING CONSULTANTS AND QUALITY INSPECTORS

PRE PLASTER INSPECTION REPORT AND DEFECTS LIST

Address of Subject Property:
55 Sample Pde, Sampleville

Client:
Mr John Sample

Our Reference – 09/***

Date of Inspection – Monday 16th March 2009

Start Time of Inspection – 10:30 am

Prevailing Weather Conditions – Overcast

Builder – @@@@@ Homes

Date of Report – Friday 20th March 2009

Client Brief

I was instructed to inspect the client's property and to prepare a report with comments on whether any defects exist in the finished quality of the framework and/or any other item prior to the installation of the plaster, for which the rectification of, could reasonably be expected to be the responsibility of the builder.

Property Details

Dwelling Type:- House & Garage	Main Construction Type:- Brick Veneer
Class of Buildings:- BCA 1a and 10a	Garage Type:- Attached
Dwelling Configuration:-Single Storey	Footing Type:- Concrete Slab
Stage of Building Works:- Nearing Lock Up	Roofing Type:- Concrete Tiles

Inspection & Report Particulars

My inspection is a visual inspection of the finishes and the quality of those finishes presented by the Builder at the time of my inspection. This report contains a 'Schedule of Building Defects' that lists the items that in my judgment do not reach an acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner in relation to the Building Acts & Regulations, the Building Code of Australia (BCA), any relevant Australian Standard, any manufacturers installation instructions or the acceptable standards & tolerances as set down by the Building Commission of Victoria.

Client Authority

None of the rectification methods, procedures or products suggested within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the BCA. Therefore, depending on the rectification works required, the builder should obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be necessary.

This report must be read by the builder in addition to any list or other correspondence provided by the owner/s.

Terms & Conditions

All site inspections, meetings, this report, all future reports, correspondence and advice that I provide in relation to this property, whether written or verbal, are provided subject to the limitations and exclusions detailed in the standard terms and conditions set out on the last page of this report.

Access

Access was gained to all required areas in accordance with clause 6 of the standard terms and conditions listed on the last page of this report.

Inspection Notes


At the time of my inspection:- 1/. The brickwork was only approximately 70% finished and had not been cleaned down; 2/. The bricklayers scaffold was still in place across the front and down the left hand elevations; 3/. The wall insulation had not been installed; 4/. I had not been provided with a copy of the roof truss layout.

Summary

A check of the framework found the walls had been plumbed to within the allowable tolerances and the trusses were bearing correctly onto the wall frames and connected properly. Generally, the framing is of a good quality, however, the items detailed in the attached schedule of building defects require further attention and/or rectification/justification prior to this home proceeding to the next stage.

Should the reader of this report have any additional queries or questions in relation to the items set out within it, please do not hesitate to contact the writer via any of the methods detailed at the bottom of this page.

Yours faithfully,



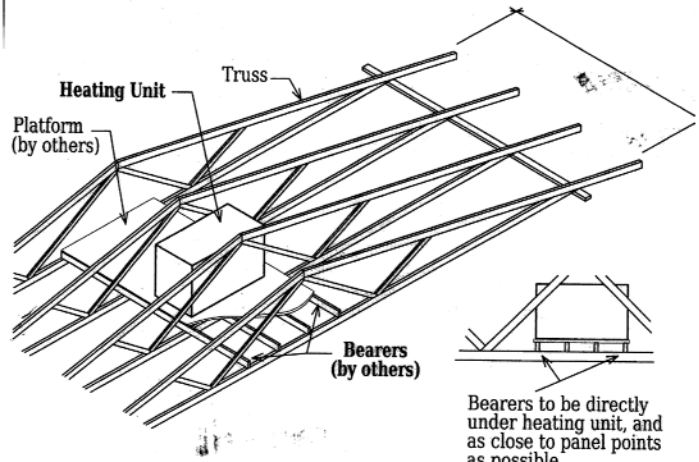

Kevin McDonald.



Please direct all postal correspondence to: P.O.Box 448, Patterson Lakes 3197.

**Email: office@newhomeinspections.com.au
Office Phone for Inspection Enquiries & Bookings: 0421 311 694
Office: Suite 5, 100 Gladesville Bvd, Patterson Lakes 3197**



**Web Site: www.newhomeinspections.com.au
Kevin's Mobile Ph: 0421 646 611
Fax: 9772 8205**

SCHEDULE OF BUILDING DEFECTS

Defective Item	Observations, Considerations and Recommendations:-
Timber External Doorframes	<p>The timber doorframes to the Front Entry and Alfresco bifold doors have not had sill flashing installed onto them in accordance with the requirements of Part 3.5.3.6 Flashings to Wall Openings of the BCA, which will allow water to penetrate in under them into the finished floor coverings.</p> <p>These frames will now have to be removed and the sills properly flashed before they are re-installed with attention paid to the flashing being turned down into the cavity.</p>
Heating Unit Platform	<p>The heating unit's chipboard platform has been fixed directly onto the tops of the trusses bottom chords, which is not in accordance with their manufacturer's installation instructions.</p> <p>As shown below, the manufacturer requires bearers to span across a minimum of 4 trusses before the chipboard platform is fixed down onto them.</p> <div style="text-align: center;"> <h3>Heating Unit Details</h3> <p>Heating unit platform to span over 4 trusses via bearers, as shown. See truss layout for location.</p>  <p>Bearers to be directly under heating unit, and as close to panel points as possible.</p> </div> <p>The installation of this platform will have to be rectified in accordance with the manufacturer's requirements.</p>
Wall Junction Blocks	<p>The junctions of the adjoining walls throughout this house have only been constructed with two blocks within them and as a result the corner junction studs have only been fixed to each other at centres of over 1000mm.</p> <p>The relevant Australian Standard, A.S 1684.4-2006 Residential Timber-Framed Construction - Simplified, clause 6.2.1.3 Wall Junctions states '<i>Internal and external walls shall be fixed together with a minimum of 2/75mm nails at 800mm maximum centres</i>', which would therefore require three fixing points or blocks to be installed down the length of every corner stud.</p> <div style="text-align: center;">  </div> <p>There are also a number of the wall junctions that have not had their studs fixed up tight to each other as can be seen in the following photographs, which will allow these studs to keep moving on the nails and lead to the cracking of the plaster down these internal corners over the longer term.</p> <p style="text-align: right;">cont/.....</p>

Defective Item	Observations, Considerations and Recommendations:-
Wall Junction Blocks (cont.)	 <p>All of these corners need to be fully nailed off in compliance with the requirements of A.S 1684.4-2006 at maximum 800mm centres with 2/75mm nails into each face of each block.</p>
Jack Studs	<p>The jack studs over the windows of Bed 2; Lounge; WIR; and the Laundry and Entry doorframe etc. have been installed in the wrong orientation for the brickwork that is installed in front of them to be tied back into this timber framework.</p> <p>The relevant Australian Standard A.S. 3700 – 2001 requires in section 4.10 Wall Ties that <i>'Wall ties for cavity and masonry veneer walls shall be spaced no greater than 600mm in each direction. Adjacent to lateral supports and control joints, and around openings in the masonry, with <u>the first line of ties located within 300mm from the top of the wall, control joint or perimeter of opening</u>'.</i></p> <p>The orientation of these jack studs must be rectified and the brickwork properly tied back to the framework as required by the BCA.</p>
Window Lintel Trimmers	<p>The 2900mm wide window opening of the 3rd Bedroom has been framed using only a single 90 x 35mm MGP10 head or lintel trimmer.</p> <p>It is a requirement of Australian Standard, A.S 1684.2-2006 Residential Timber-Framed Construction, clause 6.3.6.6 Window Sill Trimmers, that <i>'Lintel trimmers, as per windowsill trimmers, shall be provided above windows and doors where the lintel is placed directly under the top plate and the distance between the top plate of the window or door to the top plate exceeds 650mm'</i>.</p> <p>Table 6.3 Size of Windowsill Trimmers requires that for an opening width of greater than 2700mm up to 3000mm in a wind classification area of N1/N2 a 90 x 45 F5/MGP10 trimmer must be used.</p> <p>The existing head trimmer must be replaced to comply with the requirement of A.S 1684.2-2006.</p>
Window Sill Trimmers	<p>The 2900mm wide window opening of the 2nd Bedroom has been framed using only a single 90 x 35mm MGP10 sill trimmer.</p> <p>It is a requirement of Australian Standard, A.S 1684.2-2006 Residential Timber-Framed Construction, clause 6.3.6.6 Window Sill Trimmers, that <i>'For opening widths greater than 1500mm, the windowsill trimmer size shall be determined from Table 6.3'</i>.</p> <p>Table 6.3 Size of Windowsill Trimmers requires that for an opening width of greater than 2700mm up to 3000mm in a wind classification area of N1/N2 a 90 x 45 F5/MGP10 trimmer must be used.</p> <p>The existing sill trimmer must be replaced to comply with the requirement of A.S 1684.2-2006.</p>
Notches in Studs	<p>The stud in behind the Bathroom shower tap has been notched into by up to 45mm to allow for the installation of the tap set.</p> 

cont/.....

Defective Item	Observations, Considerations and Recommendations:-
Notches in Studs	<p>A.S 1684.2-2006 Residential Timber-Framed Construction, clause 6.2.1.4 Notching, Trenching and Holes in Studs and Plates states <i>'the limit of a notch into a studs depth is a maximum of 20mm'</i>.</p> <p>The current studs will need to be trimmed out and additional studs installed down the sides of these tap sets.</p>
Holes in Wall Studs	<p>The studs in the Ensuite/Laundry walls (x 3); and in the Bathroom walls (x 5) have all had holes drilled through them to accommodate the plumbing pipe work at distances of between approximately 150 to 200mm apart. A number of these holes have also been drilled either side of the notch for the metal wall bracing.</p>  <p>The relevant Australian Standard, A.S 1684.4-2006 Residential Timber-Framed Construction - Simplified, clause 6.2.1.4, Notching, trenching and holes in studs and plates, states: <i>'the distance between holes and/or notches in a stud's breadth is 3 times the stud's depth'</i>.</p> <p>As these are 90mm studs the distance between each hole should be a minimum of 270mm.</p> <p>The present pipework will have to be removed, the effected studs replaced or properly strengthened, before the pipework is reinstated at the correct minimum centres apart in accordance with the this Australian Standard.</p>
Brickwork	<p>The brickwork up the left hand side of this home overhangs the edge of the slab by up to 35mm.</p> <p>Part 3.2.2.7(b) Edge Rebates of the BCA's states that; 'Exterior masonry must not overhang more that 15mm past the edge of the slab'.</p> <p>Thus section of brickwork will need to be extended using an appropriately designed and certified engineered system.</p>
	<p>There has not been a head flashing installed into the brickwork across the tops of the electrical meterbox.</p> <p>Part 3.3.4.7 Location of Flashings of the BCA's requires that <i>'a flashing must be provided where the cavity is interrupted by a structural element, <u>opening</u> or the like'</i>.</p> <p>This flashing must be correctly installed to properly water-proof the top of the electrical meterbox.</p>
	<p>The top of the cavity flashings around the Garage have not been fixed to the frame and as a result have rolled forward and now have mortar build up in behind them in a number of places, which will allow water and moisture to transmit across onto the pine wall plates.</p>  <p>Part 3.3.4.8 Flashings at the Base of Cavity Walls, of the BCA's states that; <i>'A flashing at the base of a cavity masonry or masonry veneer wall, must extend across the cavity and be turned up not less than 150mm <u>and fixed to the frame</u>'</i>.</p> <p>All of the loose mortar will need to be removed from behind these flashings and them properly fixed back to the frame.</p>

--:End of Schedule:-

1. Engagement

My engagement is confined to that of a Building Consultant and not that of a Building Surveyor or Inspector as defined in the Building Act of 1993. I do not hold qualifications as an Engineers, Land Surveyors or Pest & Timber Infestation Inspector and therefore have not check and make no comment on:- 1/. The structural integrity of the building; 2/. The capacity and/or consistency of the sites foundation material; 3/. The correctness of the buildings footing system; 4/. The site and roof drainage systems; 5/. The title boundaries and the location of any easements and/or their assets; 6/. The buildings boundary setbacks; 7/. Compliance with any requirement of Part 4, Siting, of the Building Regulations; 8/. Glazing for compliance with their codes and standards; 9/. The presents of termites & borers or at the completeness of any termite risk management procedures and barriers; 10/. All other requirements that are the responsibility of the above mentioned professions.

2. Assumptions

My inspection is carried out on the quality of the fixtures, fittings and materials as installed and presented at the time of my inspection and I rely on as fact that they have been installed in accordance with their manufacturer's installation instructions and/or designer's specification, including all associated and substrate works.

It is also assumed during our site inspection that all items identified in any previous report in relation to this property have been rectified to the owner's satisfaction unless they were specifically detailed to us in writing prior to this inspection being carried out as outstanding.

3. Documentation

Documentation made available to me during my inspections and for use in the preparation of my correspondence and reports is only viewed on an informal basis and I make no certification that the building has been constructed in accordance with it.

4. Non-Destructive Inspection

My inspection is carried out on a non-destructive basis and excludes anything that would require the removal of any fixture, fitting, cladding, insulation, sarking, membrane, roof covering, lining material or the excavation of any soil.

5. Measurements/Levels

Measurements taken during my inspections are with a standard 4 fold carpenters ruler or 8 metre steel tape; and levels with either a 900 or 2000mm long spirit level, unless otherwise stated within this report.

6. Access

My inspections are limited to areas that can only be safely accessed with the standard equipment that I carry, being a 1500mm high set of aluminium steps, and that can be readily accessed without causing me to breach any of WorkSafe Victoria's current Code of Practices or any part of the current Occupational Health and Safety Act.

7. Services, Appliances, Plant and Equipment

I do not test or check for appropriateness, capacity, correct installation & connection, certification, or completion of any service, appliances, plant and/or equipment, i.e. heaters, hot water units, air conditioners, evaporative coolers, ovens, hotplates, dishwashers, rangehoods, spa pump, smoke detectors, electrical & data wiring, duct work, gas lines, electricity supply, water supply, sewer drains, stormwater drains, agricultural drains, water tanks, solar panels, ect.

8. Copyright

This report, including its layout, format, contents and presentation is the copyright of Kevin McDonald. Any person, party or entity, other than the party named as the client/s on the front page hereof, that uses or relies upon this report without my expressed written permission is in breach of this copyright.

9. Client Use

This report has been prepared for the exclusive use of the party named as the client/s on the front page hereof. Any other person, party or entity that uses or relies on this report without my written consent does so at their own risk and I accept no responsibility for such use.

The party named as the client accepts that by using, referring too, forwarding or causing this report to be forwarded onto a third party, either in part or in full, that they are accepting it as the completed report and agree to make full payment when and as invoiced.

10. Report Reproduction

This report cannot be reproduced in part; it must only be done so in full.

11. Reference

References contained within this report to the Building Acts & Regulations, the Building Code of Australia (BCA), any Australian Standards, a Building Commissions document, a manufacturers technical data sheet or installation instruction, or any other document are neither exhaustive, complete or a substitute for the original document & are provided to facilitate the understanding of this report only. I therefore accept no responsibility for any reliance upon the part references contained within this report.

12. Exclusions

- a) Defects outside the scope of the client brief;
- b) Defects not evident by visual inspection, or only visible from outside the subject properties boundary lines;
- c) Defects in inaccessible parts of the building or site, including but not limited to, areas with limited boundary wall set-backs, the roof space and sub-floor areas;
- d) Defects only apparent in different weather or environmental conditions as to those prevailing at the time of my inspection;
- e) Defects not consider significant enough to warrant any rectification work at the time of my inspection;
- f) Defects that would be rectified as a consequence of any other defect listed within this report;
- g) Defects that I consider to be Work in Progress or already clearly marked for rectification by the builder;
- h) Check measure of rooms, walls and the overall building, for size, height, parallel and squareness unless specifically noted;
- i) Compliance with contractual documents such as electrical, heating & cooling, joinery and detail plans; and colour selection specifications.
- j) Landscaping, retaining walls, or any structures outside the roofline of the main building unless specifically noted;
- k) Enquiries of Councils, the relevant Building Surveyor and/or any Statutory Authority;
- l) Items that meet accepted industry practices and/or generally comply with the Performance Requirements of the BCA even if they are not meeting the Deemed-to-Satisfy provisions of that document.
- m) Minor cracking of cornice and architrave joins; minor alignment of cupboard doors and draw fronts; minor alignment of doors and their latches as it is my considered opinion that these items are best addressed at the maintenance stage.

13. VCAT Compliant

In the normal course of quoting my services, I do not allow to present my reports in accordance with Practice Note 2 under Section 158 of the Victorian Civil and Administrative Tribunal Act 1998. Therefore, if this report is to be submitted to VCAT an additional addendum will have to be prepared and attached to it, the cost of which is in addition to the initial quoted and charged fee.