



New Home Inspections

BUILDING CONSULTANTS AND QUALITY INSPECTORS

BUILDING INSPECTION REPORT AND DEFECTS LIST

Address of Subject Property:

Lot 32 No. 5 Sample Ave, Sampletown North

Client:

Sample Jones

Date of Inspection – Tuesday 3rd September 2013

Start Time of Inspection – 9:00 am

Prevailing Weather Conditions – Overcast with Intermittent Rain

Builder – Sample Homes

Date of Report – Wednesday 4th September 2013

Client Brief

We have been requested by the client to attend their property and carry out a building inspection on the quality of work produced to date by their builder and thereafter to prepare an inspection report identifying any defects that exist in the finishes and the quality of those finishes, for which rectification can reasonably be expected to be the responsibility of the builder.

Property Details

Dwelling Type:- House & Garage	Main Construction Type:- Brick Veneer
Class of Buildings:- BCA 1a and 10a	Dwelling Configuration:-Single Storey
Stage of Building Works:- Nearing Completion	Footing Type:- Concrete Slab
Main Roofing Type:- Concrete Tiles	Garage Type:- Attached

Inspection & Report Particulars

Our inspection is a visual inspection of the finishes and the quality of those finishes completed by the Builder up to the stage of our site attendance. This report contains a 'Schedule of Building Defects' that lists the items that in the writers judgement and 30 years of industry experience do not reach the minimum acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner with regard to the requirements of the Building Acts and Regulations, the Building Code of Australia (BCA), the relevant Australian Standards or to within the Building Commission's guide to acceptable Standards & Tolerances.

Client Authority

None of the rectification methods, procedures or products suggested within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the BCA. Therefore, depending on the rectification works required, the builder must obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be necessary.

This report must be read by the builder in addition to any list or other correspondence provided by the owner/s.

Terms & Conditions

All site inspections, meetings, this report, all future reports, correspondence and advice that we provide in relation to this property, whether written or verbal, are provided subject to the limitations and exclusions detailed in our standard terms and conditions set out on the last page of this report.

Access

Access was gained to all required areas in accordance with clause 6 of the terms and conditions listed on the last page of this report.

Inspection Notes

At the time of our inspection – 1/. The majority of the floor slabs edge beams had been back filled up against; 2/. The painters were on site carrying out their touch ups; 3/. The house and site was still to be cleaned.

Summary

The items detailed in the attached 'Schedule of Building Defects' will all need to be rectified and/or completed before the builder could consider the building works have reached completion.

Should the reader of this report have any additional queries or questions in relation to the items set out within it, please do not hesitate to contact the writer via any of the methods detailed below.

Yours faithfully,



Greg Wright

Mobile: 0421 311 694

Email: greg@newhomeinspections.com.au

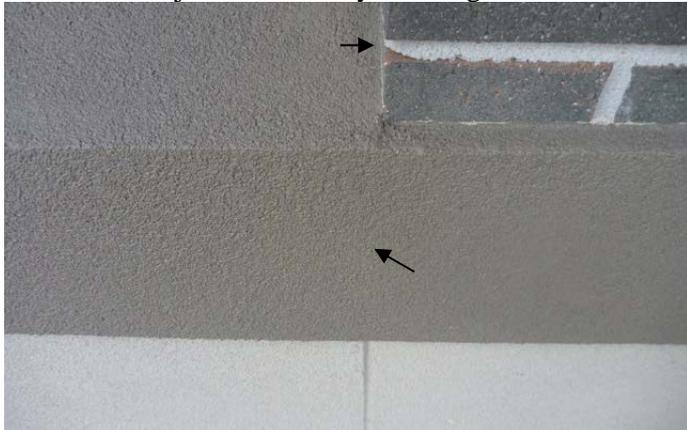
Please direct all postal correspondence to: P.O.Box 448, Patterson Lakes 3197

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SCHEDULE OF BUILDING DEFECTS

Item	Observations, Considerations and Recommendations:-	
1.	Garage Door	<p>The colorbond door has had its prefinished painted coating scratched through down each side on the rear face of the piers, exposing the base metal.</p>  <p>BlueScope Steel, the manufacturer of colorbond steel state on their web site that –‘BlueScope steel does not recommend the use of touch up paints on Colorbond steel’ and that ‘Our recommendation is not to touch up. Minor scratching will not affect the life of the sheet and is rarely obvious to a casual observer. Should damage be substantial, replace the sheet. We particularly recommend against the use of spray cans, as these can result in overspraying of surrounding areas. The problem might not be immediately obvious, but since overspray paint weathers at a different rate to the oven dried paint on Colorbond steel you’ll eventually be left with an unsightly blemish on the sheet’.</p> <p>The affected damaged sections will need to be replaced.</p>
2.	Render	<p>The rendered finish that has been applied across the walls of this house bridges the damp-proof course.</p> <p>Australian Standard A.S. 3700 – 2001 Masonry Structures, clause 11.4.16 Damp-proof Courses and Flashings states- ‘Any render finish subsequently applied to the surface shall not be allowed to bridge a damp-proof course or make ineffective any other moisture protection measures’.</p> <p>Additionally, the Building Commission’s Guide to Standards and Tolerances clause 9.05 Covering Articulation or Control Joints and Damp-proof Courses, states that- ‘Applied Finishes are defective in they impede the performance of any damp-proof course or sub-floor ventilation required in accordance with the BCA’.</p> <p>The builder should have ruled or cut a line through the finished render back to the front edge of the damp-proof course where it penetrates the brick bed joint, which would help control or stop the migration of moisture up the brick wall. These ruled or cut lines are especially effective at doing this, if they are then filled with a matching coloured flexible acrylic sealant. As a secondary effect, but while not stopping cracking along this point, these lines or cuts will help control it.</p>
3.		<p>The rendered band that has been applied across the walls of this house has been applied directly across each articulation joint, effectively blocking them and the sill sections.</p> 

Item	Observations, Considerations and Recommendations:-	
	<p>Articulation joints are the vertical gaps constructed into brickwork to absorb the expected structural movement of the buildings foundation material, and just as importantly to act as control joints to absorb the expected growth/shrinkage in clay or concrete bricks.</p> <p>Part 3.3.1.8 Vertical Articulation Joints, of the BCA requires that <i>‘Vertical articulation joints must be provided in un-reinforced masonry walls and must have a width of not less than 10mm.’</i></p> <p>With each of the articulation joints full of render, these walls have no ability to move in a controlled manner and will therefore most likely crack at other points along the walls.</p> <p>In addition to this the Building Commission’s Guide to Standards and Tolerances clause 9.04 Articulation or Control Joints – Provision and Cracking, states- <i>‘With the exception of paint and recommended mastic sealants, render or other applied finishes are defective in they cover articulation or control joints’</i> and clause 9.05 Covering Articulation or Control Joints and Damp-proof Courses, states- <i>‘Mouldings and inflexible covering strips are defective if they are installed across articulation or control joints and are fixed or restrained on both sides’</i>.</p> <p>These articulation joints must be fully cut through the render finish and sill sections, after which they should be sealed with a matching coloured flexible acrylic sealant.</p>	
4.		<p>The render across the front of the Garage has not been finished off in behind the door opening lintel, which will need to be rectified.</p> 
5.	Brickwork	<p>The bricks within the walls of the Garage and house have not been blended properly.</p> 

Item	Observations, Considerations and Recommendations:-
	<p>The Building Commissions, Guide to Standards and Tolerances clause 3.06 Blending and Matching of Masonry – New Work’ states that ‘Masonry areas that vary in colour are defective if the units are not mixed and/or distributed in accordance with the manufacturer’s installation instructions’.</p> <p>Blending refers to the process of mixing the bricks to evenly distribute the product colours across the entire finished wall.</p> <p>Blending instructions are supplied on the sides of brick packs when delivered and recommend:-</p> <ol style="list-style-type: none"> 1. Work from at least three open packs at any one time; and 2. Select the top bricks from the left of each pack; and 3. Work progressively from a corner across and down each pack in a diagonal pattern. Do not unpack the bricks in horizontal layers. <p>Clearly the blending of the bricks within these walls has not been carried out correctly and now will have to be rectified.</p>
6.	<p>There are a lot of the bricks within the Porch piers and within the walls around the window openings that have not been properly coated and their base clay colour has been left visible.</p> <div data-bbox="620 707 1310 1595" data-label="Image"> </div> <p>All of the affected bricks will need to be re coated or replaced.</p>
7.	<p>The brickwork around this house still has mortar residue across the faces and edges of the bricks.</p> <div data-bbox="620 1694 1310 2169" data-label="Image"> </div> <p>The Building Commission’s Guide to Standards and Tolerances clause 3.07, Masonry</p>

Item	Observations, Considerations and Recommendations:-
8.	<p>Facing states that:- <i>'Masonry faces are defective if they are not cleaned and free of excess mortar'</i> and clause 3.11, Cleaning, Mortar Smears & Stains states that:- <i>'Stains, mortar smears and damage caused by cleaning are defects if they are visible from a normal viewing positioning.'</i></p> <p>The faces and edges of the bricks within the wall around this home will have to be properly re-cleaned to remove all traces of the mortar residue from across them.</p>
9.	<p>There are numerous voids and holes in the finished faces of the mortar joints to the sills of Bed 2, 3 & 4.</p> <p>The Building Commission's Guide to Standards and Tolerances clause 3.09 Voids and Holes in Mortar, states that- <i>'Voids and holes in mortar in masonry walls, excepting weepholes and vents, are defects if they are visible from a normal viewing position'</i>.</p> <p>These voids and holes need to be properly patched prior to the affected areas of the walls around this house and garage being re-cleaned.</p>
9.	<p>The perpend joints in the sides of the corbelled bricks around the tops of the Porch piers are up to 40mm wide, with the exception of the left hand side of the left hand pier, which has had a brick piece installed into it.</p> <div data-bbox="624 695 1310 1494" data-label="Image"> </div> <p>Part 3.3.1.7 of the BCA's states that <i>'Unless otherwise specified masonry bed and perpend joints are to be a nominal 10mm'</i>.</p> <p>The relevant Australian Standard, A.S.3700-2001 Masonry Structures, states that <i>'the maximum deviation from a specified thickness of a perpend joints for non-structural face brickwork is +/- 5mm on average'</i> as well as that <i>'the maximum difference in perpend thickness in any non-structural face brick wall is 8mm'</i> and also that <i>'the minimum perpend thickness for non-structural face brick wall is 5mm'</i>.</p> <p>These corbelled bricks will need to be reinstalled with the required brick pieces set into them instead of the oversized perpend joints to all be consistent with each other.</p>
10.	<p>Concrete Tank Pad</p> <p>The tank pad paving has been installed hard up to the underside of the damp-proof course and weepholes.</p> <p>It is a requirement of Part 3.3.4.5 Damp-proof course-installation of the BCA, that – <i>'the height of a damp-proof course must be not less than 75mm above the finished surface level of adjacent paved, concreted or landscaped areas that slope away from the wall.'</i></p> <p>The placement of this pad must be rectified.</p>
11.	<p>There has not been any 'Ableflex' isolation joint material or the like installed between the tank pad paving and the brick wall of the house.</p> <p>Australian Standard A.S. 3727 – 1993 Guide to Residential Pavements – Clause 8.4.2 Isolation Joints, states that <i>'An isolation joint should be provided where pavement adjoins a</i></p>

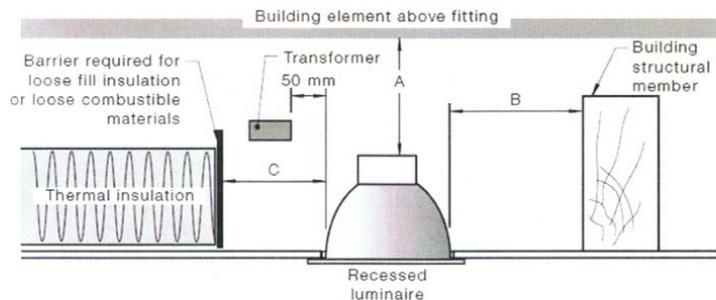
Item	Observations, Considerations and Recommendations:-
12. Concrete Floor Slab	<p data-bbox="411 123 1517 192"><i>building or rigid structure. Isolation joints should allow freedom of movement between the pavement and the structure’.</i></p> <p data-bbox="411 208 1342 243">The current paving installation is incorrect and must now be properly rectified.</p> <p data-bbox="411 243 1517 408">The lower edges of the concrete slab had not been correctly boxed out prior to this floor being poured, which has resulted in the concrete protruding out past the face of the brickwork by up to 30mm across the front wall of the Ensuite; down the left hand side of the Rumpus and Bed 3; down the entire right hand side; and up to 60mm across the rear of Bed 4, which will foul the installation of the future perimeter paving and landscaping.</p>  <p data-bbox="411 920 1517 1019">As the builder has constructed this slab with a two brick rebate, the damp-proof course/cavity flashing has been installed on top of the bottom brick or only approximately 85mm above this blow out of concrete.</p> <p data-bbox="411 1035 1517 1340">Given that Part 3.3.4.5 (c) of the BCA, Damp-proof course-installation states that <i>‘the height of a damp-proof course, or flashing serving as a damp-proof course, must be not less than 150mm above the adjacent ground level; or 75mm above the finished surface level of adjacent paved, concreted or landscaped areas that slope away from the wall’</i>, the owners currently have no way of finishing their paving and gardens neatly up to the side faces of this slab or the walls of their house, while maintain the minimum distance down from the damp-proof course as required by the BCA. Additionally, the reactivity of the soils in this area and the expected differential movement between the house slab and the areas outside it will also contribute to difficulties in the placement of the surrounding paving and gardens.</p> <p data-bbox="411 1356 1517 1556">The builder should therefore, after consultation with the slabs design engineer, trim all of the blown-out areas of concrete back to be in alignment with the finished face of the brickwork so that the paving and landscaping can be neatly finished up beside it. Consideration and care must be paid to not fracturing the concrete and breaking the bond between it and the reinforcement; not reducing the throat of the edge beam; and to not exposing the steel reinforcement or reducing its side cover.</p>
13. Roof Cavity	<p data-bbox="411 1556 1517 1655">The ceiling insulation has not been installed around the light fitting snugly enough and has currently been left up to 400mm away from the sides of the downlights; as well as up to 200mm away from the side walls, which will be significantly reducing its effectiveness.</p> 

Item

Observations, Considerations and Recommendations:-



Australian Standard A.S. 3000:2007 Wiring Rules only require that insulation be kept 200mm away from halogen downlights as per Figure 4.7, shown below-



Dimension	Incandescent lamp	Halogen lamp
A – clearance above luminaire	50 mm	200 mm
B - side clearance to structural member	100 mm	200 mm
C – clearance to thermal insulation	50 mm	200 mm
D – clearance to supply transformer	50 mm	

FIGURE 4.7 DEFAULT MINIMUM CLEARANCES FOR RECESSED LUMINAIRES

Sustainability Victoria’s Energy Smart Housing Manual warns that ‘if ends and edges of batts are not snugly fitted then up to 5% of the ceiling area will not be properly covered, which would lose up to 50% of the potential insulation benefit.’

The present insulation must be rectified so that it is fitted around the light fittings correctly as required by Australian Standard AS/NZs 3000:2007 Wiring Rules to achieve the required R-value and across the entire ceiling area.

14. In addition to the above there have been no batts installed under the heating platform and walkway, which will also need to be properly rectified.

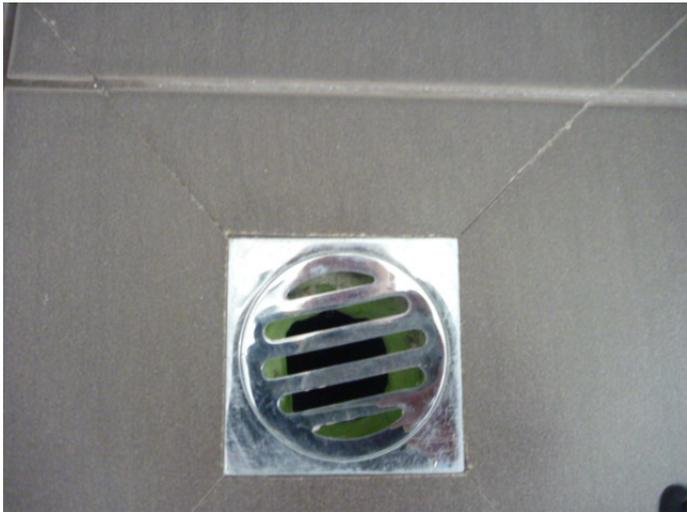
15. There is an unshielded downlights in the rear passage that has been installed directly under the heater walkway and will need to be rectified to comply with the clearances detailed in Item 13 of this report.



16. There have been no batts installed into the drop ceiling area of the Master Bedroom, which for the reasons detailed above will have to be properly rectified.

Item	Observations, Considerations and Recommendations:-	
		
17.	<p>The switch for the light to the heating unit is located at least 3 metres from the access opening.</p> <p>The relevant Australian Standard A.S. 5601 – 2004 Gas Installations, clause 5.3.11 Appliances in Roof Spaces (f), requires that <i>'Permanent artificial lighting is to be provided at the appliance, with the switch located adjacent to the access opening'</i>.</p> <p>This light switch will need to be moved to be adjacent to the access opening as required.</p>	
18.	<p>There has not been any sarking installed under the lower ends of the roof trusses, which top chords measure approximately 8,850mm down their lengths.</p> <p>Part 3.5.1.2 Roof Tiling of the BCA, requires that <i>'Sarking must be installed under tiled roofs in accordance with Table 3.5.1.1b.'</i></p> <p><i>Table 3.5.1.1b requires that for a roof degree pitch of greater than 22° the maximum rafter length without sarking is 6,000mm.</i></p> <p><i>Table 3.5.1.1b then states – The maximum rafter length is measured from the topmost point of the rafter downwards. Where the maximum rafter length is exceeded, sarking must be installed over the remainder of the rafter length.'</i></p> <p>The builder must install the required sarking in accordance with this requirement of the BCA along with the required anti ponding devices.</p>	
19.	External Painting	<p>The PVC couplings at the base of each downpipe, which connects them into the stormwater system, all still need to be painted.</p>
20.	<p>The inside faces and bottom edges of the roof beams around the Alfresco area contain splits and open knots holes within their veneer finish.</p>  <p>The Building Commission's Guide to Standards and Tolerances clause 12.04 Mechanical Damage and Natural Defects in Surfaces, states <i>'Holes and any other unfilled depressions in paint or stained timber such as surface defects caused by mechanical damage, natural characteristics such as gum pockets or surface splits are defects if they can be seen from a normal viewing position'</i>. A normal viewing position would be at a distance of 1.5 metres or greater back from these beams.</p> <p>The splits and holes along these beams need to be properly filled before being properly sanded and repainted.</p>	
21.	External Timber Doors	<p>The top and bottom edges of all the external facing timber doors, including the one through into the garage, need to be properly sealed in accordance with their manufacturer's installation instructions and warranty conditions.</p>

Item	Observations, Considerations and Recommendations:-	
22.	Entry	<p>The gaps around the Entry door vary in their finished widths from 3 to 6mm.</p> <p>The Building Commissions, Guide to Standards and Tolerances clause 8.04 Internal Door Clearances, states- <i>'The installation of doors is defective if within three months of completion, clearances between door leaves and frames and between adjacent door leaves are not uniform and within 1mm. A clearance between door leaves or between a door leaf and the frame is defective if it is less than 2mm or greater than 5mm in width'</i></p> <p>The gaps around this door must be adjusted to comply with this tolerance.</p>
23.		The draft seal down the striker plate side is torn and will need to be replaced.
24.	Study	The guides on the sliding door into this room need to be adjusted so that the doors align with each other.
25.	Master Bedroom	The striker plates on the door and frame into this room needs to be adjusted to remove the present rattle between it and the door latch and bolt.
26.		<p>The upper window pane in the centre window is scratched.</p> <p>The Building Commission's, Guide to Standards and Tolerances clause 18.04 Glazing, states- <i>'Scratches, fractures, chips or blemishes on glazing and mirrors are defects if they are caused by the builder and can be seen from a normal viewing position. Minor scratches, fractures, chips or other blemishes that are not more than 10mm long and where there are not more than three blemishes per pane, are not defects'</i>.</p> <p>This pane of glass will have to be replaced with a new one.</p>
27.	Ensuite	There is a chip in the left hand edge of the vanity top approximately 100mm in from the rear corner, which will need to be properly repaired or the top replaced.
28.		The surface of the shower base needs to be properly re-polished to remove the present scratches from across it.
29.		<p>The lacquer finish on the vanity doors is lacking, which will need to be recoated.</p> 
30.		The floor tiles within this room run up to 12mm out of parallel to the walls and shower base, which will need to be rectified.
31.	Kitchen	The screws through the panels of the shelving over the refrigerator recess need to have caps installed to them.
32.		The centre shelf is missing from within the cupboard under the sink, which will need to be reinstalled.
33.		<p>There is a sag of up to 13mm in the ceiling and cornice lines across the overhead cupboards, which vary in height to the underside of the cornice from 86 to 99mm.</p> <p>The Building Commission's, Guide to Standards and Tolerances clause 4.03 Straightness of Steel and Timber Frame Surfaces, states- <i>'Frames are defective if they deviate from plane (horizontal or vertical bow) by more than 4mm in any 2 metre length of wall'</i> and clause 9.18 Straightness and Alignment of Plaster Cornices, states- <i>'Plaster cornices are defective if they deviate from a straight line greater than 4mm over a length of up to 2 metre'</i>.</p> <p>This ceiling and cornice line must be properly straightened and the affected areas repainted.</p>
34.		The return air duct needs to be fully vacuumed out to remove all of the plaster dust and timber shavings from within it, to stop them being draw in through the heating system once it is commissioned.
35.	Dining	There is a sag of up to 10mm in the ceiling and cornice lines across the opening into the Rumpus room, which is also noticeably out of parallel to the horizontal edge of this opening, which for the reasons detailed above will need to be properly straightened and the affected areas repainted.

Item	Observations, Considerations and Recommendations:-
36.	<p>The rear sliding door unit and the floor below it are up to 14mm out of level, which is noticeable in the varying gap between the door head and cornice line over it.</p> <p>The Building Commission's Guide to Standards and Tolerances clause 2.08 Levelness of Timber & Concrete Floors, states that- <i>'Except where documented otherwise, new floors are defective if within the first 24 months they differ in level by more than 10mm in any room or area, or more than 4mm in any 2 metre length.'</i></p> <p>This floor and doorframe will need to be properly rectified so that they are both level and parallel.</p>
37.	<p>The centre and fixed pane of glass within the sliding doorframe have scratches and blemishes across them, which for the reasons detailed above will have to be replaced with new ones.</p>
38.	<p>Bed 4</p> <p>The fixed pane of glass within the window frame has scratches across it, which for the reasons detailed above will have to be replaced with new ones.</p>
39.	<p>Bathroom</p> <p>The surface of the bath needs to be properly re-polished to remove the present scratches from across it.</p>
40.	<p>Shower Bases</p> <p>The diagonal cuts in the shower floor tiling for the fall to the waste in the Ensuite and Bathroom are tight together and not consistent with the widths of the other grout joints across these floors.</p>  <p>The relevant Australian Standard A.S. 3958.1 – 2007 Ceramic Tiles – Guide to the Installation of Ceramic Tiles, clause 5.4.6 Tile Finish and Joints also states that <i>'Joint widths should be consistent throughout the installation unless otherwise specified. The recommended joint widths for floors with dust-pressed tiles are 3mm, measured at the tile face'</i> and clause 5.4.3 – Fitting, states that <i>'Keep all joint lines, including mitres, straight and of even width'</i>.</p> <p>These tiles and the grout joint widths must be properly rectified or replaced.</p>
41.	<p>Cleaning</p> <p>The window & door frames, their tracks, and the glazing within them all still have mortar, render and paint across them; and the floors, cupboards and internal fixtures and fittings all still require cleaning.</p> <p>The Building Commission's, Guide to Standards and Tolerances clause 18.09 Cleaning, states- <i>'Owners are entitled to expect that the building site and works are clean and tidy on completion. Building works are defective where windows are not clean, floors are not swept, mopped or vacuumed as appropriate, tiles, sinks, basins, troughs, baths, etc. are not cleaned and shelving, drawers and cupboards ready for use.'</i></p> <p>Once the cleaners have properly completed all of this work, all of the glazing, mirrors, cupboards, baths, shower bases, shower screens, floor coverings, fixtures and fitting etc. should all be thoroughly checked again for any scratches and damage which may have occurred, prior to handover proceeding.</p>
42.	<p>This building site still had builder debris and rubble across its outside areas.</p> <p>The Building Commission's, Guide to Standards and Tolerances clause 18.09 Cleaning, states- <i>'Owners are entitled to expect that the building site and works are clean and tidy on completion. Building sites are defective if, upon handover, that are not clear of building debris.'</i></p> <p>This site will have to be properly cleaned to comply with the above prior to handover.</p>

-:End of Schedule:-

THE STANDARD TERMS & CONDITIONS THAT WE PROVIDED OUR SERVICES SUBJECT TO:-

1. Engagement

Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor or Inspector as defined in the Building Act of 1993. Our inspectors do not hold qualifications as Engineers, Land Surveyors or Pest & Timber Infestation Inspector and therefore have not check and make no comment on:- The structural integrity of the building; The capacity and/or consistency of the sites foundation material; The correctness of the buildings footing system; The site and roof drainage systems; The title boundaries and the location of any easements and/or their assets; The buildings boundary setbacks; Compliance with any requirement of Part 4, Siting, of the Building Regulations; Glazing for compliance with their codes and standards; The presents of termites & borers or at the completeness of any termite risk management procedures and barriers; All other requirements that are the responsibility of the above mentioned professions.

2. Assumptions

2.1. Our inspections are carried out on the quality of the fixtures, fittings and materials as installed and presented at the time of our site attendance and we rely on as fact that they have been installed in accordance with their manufacturer's installation instructions and/or designer's specification, including all associated and substrate works. 2.2. We assume that all items identified in our previous inspection report/s in relation to this property have been rectified to the owner's satisfaction, with the exception of any item that is still fully visible and capable of being properly inspected by us, and that our inspector believes still requires further rectification and/or justification, will be carried forward into this report.

3. Interpretation

3.1. Words in the singular include the plural and vice versa, according to the requirements of their context; 3.2. Words importing a gender include every gender; 3.3. References to a person includes an individual, firm or corporate or unincorporated body and vice versa, according to the requirements of the context.

4. Discrepancies or Ambiguities

4.1. Due to the fast moving nature under which our reports are produced they are provided on an E&OE basis; 4.2. If a reader of this report believes there may be a discrepancy or ambiguity contained within it they should notify the writer immediately, via email, for clarification of the suspected discrepancy or ambiguity.

5. Documentation

Documentation provided to us to facilitate the carrying out of our inspections and to prepare our reports and/or other correspondence is only viewed on an informal basis and we make no certification that the building has been constructed in accordance with it.

6. Photographs

6.1. Photographs provided within our reports will have been taken at the subject property on the day of our inspection by our inspector, unless otherwise noted. 6.2. Photographs are provided for the clients understanding of the item identified and any defects noted are not limited to those shown in the photograph provided within this report. 6.3. We do not provide binding comment or opinion on photographs provided to us on any rectification work allegedly carried out on any item identified within our reports, regardless of who provided it, and all comments that we do provide must only ever be considered to be of a loose general nature only.

7. Non-Destructive Inspection

Our inspections are carried out on a non-destructive basis and exclude any area that would require the dismantling, removal or relocation of any fixture, fitting, plaster, timber, cladding, insulation, sarking, membrane, roof covering, lining, steelwork, scaffolding or excavation of any soil.

8. Measurements/Levels

8.1. Measurements taken during our inspections are with a standard 4 fold carpenters ruler or 8 metre steel tape; and levels with either a 900 or 2000mm long spirit level, unless otherwise stated within this report; 8.2. Floor levels are only checked if the area/rooms are clear of builder's equipment, materials, debris, and furniture. Further, as floor levels need only be rectified just prior to the installation of the floor coverings they will be treated as a builder's Work in Progress until such time, unless otherwise stated within this report, and we rely on as fact that the builder levels and straightens all ceiling lines prior to the installation of plaster.

9. Access

Our inspections are limited to areas that can only be safely accessed with the standard equipment that we carry, being an 1800mm high set of aluminium steps, and that can be readily accessed without causing our inspectors to breach any of WorkSafe Victoria's current Code of Practices or any part of the current Occupational Health and Safety Act.

10. Services, Appliances, Plant, Equipment and Materials

We do not check or test for the correctness, appropriateness, sizing, grading, capacity, installation, certification, and completeness of any service, plant, equipment, appliances and materials i.e. heaters; hot water units; air conditioners; evaporative coolers; ovens; hotplates; dishwashers; rangehoods; spa pump; electricity supply; electrical and data wiring, switches and fittings; smoke detectors; duct work; insulation R-values; gas lines and fittings; water supply; sewer drains, stormwater and agricultural drains; solar panels; garage doors operating mechanisms; framing members, bracing and tie-down etc.

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13. Reference

References contained within this report to the Building Acts & Regulations, the Building Code of Australia (BCA), any Australian Standards, a Building Commissions document, a manufacturers technical data sheet or installation instruction, or any other document are neither exhaustive, complete or a substitute for the original document and are provided to facilitate the understanding of this report only. We therefore accept no responsibility for any loss, damage or expense incurred for reliance upon the part references contained within this report.

14. Exclusions

- 14.1. Defects outside the scope of our client brief;
- 14.2. Defects not evident by visual inspection, or only visible from outside the subject properties boundary lines;
- 14.3. Defects in inaccessible parts of the building or site, including but not limited to, areas with limited boundary wall set-backs, within the roof cavity space and sub-floor areas;
- 14.4. Defects only apparent under artificial light;
- 14.5. Defects only apparent in different weather or environmental conditions as to those prevailing at the time of our inspectors attendance;
- 14.6. Defects not consider significant enough to warrant any rectification work at the time of our inspectors attendance;
- 14.7. Defects that would be rectified as a consequence of any other defect detailed within this report;
- 14.8. Defects that our inspector considers to be Work in Progress or already clearly marked for rectification by your builder;
- 14.9. Check measure of rooms, walls and the overall building, for size, height, parallel and squareness;
- 14.10. Compliance with contractual documents such as electrical, heating, cooling, joinery, detailed plans; and/or colour selection specifications.
- 14.11. Landscaping, water tanks, retaining walls and any other structures outside the roofline of the main building;
- 14.12. Enquiries of Councils, the relevant Building Surveyor and/or any Statutory Authority;
- 14.13. Items that meet accepted industry practices and/or generally comply with the Performance Requirements of the BCA even if they are not meeting the Deemed-to-Satisfy provisions of that document.
- 14.14. The identification and reporting of inconsequential paint touch-ups, minor plaster and other small cosmetic defects.
- 14.15. The identification and reporting of minor cracking of cornice and architrave joints; minor alignment of cupboard doors and draw fronts; minor alignment of doors and their latches as it is our considered opinion that these items are best addressed at the maintenance stage.

15. VCAT Compliance

In the normal course of quoting our services, we do not allow to present our reports in accordance with Practice Note 2 under Section 158 of the Victorian Civil & Administrative Tribunal Act 1998. Therefore, if this report is to be submitted to VCAT an additional addendum will have to be prepared by us to be attached to it.