



New Home Inspections

BUILDING CONSULTANTS AND QUALITY INSPECTORS

PRE-POUR SLAB INSPECTION REPORT AND DEFECTS LIST

Address of Subject Property:
Lot 555 Sample Ave, Sampleville

Clients:
John & Jenny Sample

Date of Inspection – Tuesday 1st April 2014

Start Time of Inspection – 4:00 pm

Prevailing Weather Conditions – Overcast

Builder – Sample Homes

Date of Report – Tuesday 1st April 2014

Client Brief

We have been requested by the client to attend their property and carry out a quality inspection on the pre-pour slab preparation works for the in situ reinforced concrete member detailed in their architectural and engineering draws, and thereafter to prepare an inspection report identifying any defects that exist in those preparation works, for which rectification of needs to be carried out prior to the slab being poured.

Property Details

Dwelling Type:- Houses and Garage	Main Construction Type:- Brick Veneer
Class of Buildings:- BCA 1a and 10a	Dwelling Configuration:- Single Storey
Footing Type:- Waffle Pod Concrete Slab	Garage Type:- Attached

Inspection & Report Particulars

Our inspection is a visual inspection of the finishes and the quality of those finishes completed by the Builder up to the stage of our site attendance. This report contains a 'Schedule of Building Defects' that lists the items that in the writers judgement and 30 years of industry experience do not reach the minimum acceptable standard of quality, level of building practice, or have not been built in a proper workmanlike manner with regard to the requirements of the Building Acts and Regulations, the National Construction Code (BCA), the relevant Australian Standards or to within the Building Commission's guide to acceptable Standards & Tolerances.

Client Authority

None of the rectification methods, procedures or products suggested within this report are to be read as an instruction to the builder, nor are they an authorisation to vary from the original contractual documentation, a manufacturers installation instruction, any Australian Standards or the BCA. Therefore, depending on the rectification works required, the builder must obtain a signed variation and/or agreement from the client prior to carrying out any such work, whenever one would normally be necessary.

Terms & Conditions

All site inspections, meetings, this report, all future reports, correspondence and advice that we provide in relation to this property, whether written or verbal, are provided subject to the limitations and exclusions detailed below and in our standard terms and conditions set out on the last page of this report.

Access

Access was gained to all required areas in accordance with clause 6 of the terms and conditions listed on the last page of this report.

Inspection Limitations

Our inspection is of the installed polyethylene vapour barrier, void formers, the steel reinforcement and the perimeter boxing only. It is not an inspection of the sites bearing capacity (foundation material), any piles, piers or fill contained within it. Nor is it an approval of the slabs structural design or integrity, its size in any orientation, its position on the site and/or the location of any plumbing pipes or conduits that run through it.

Summary

The items detailed in the attached 'Schedule of Building Defects' will require rectification by the builder prior to this slab being poured.

Should the reader of this report have any additional queries or questions in relation to the items set out within it, please do not hesitate to contact the writer via any of the methods detailed below.

Yours faithfully,



Kevin McDonald

Mobile: 0421 646 611

Email: kevin@newhomeinspections.com.au




Please direct all postal correspondence to: P.O.Box 448, Patterson Lakes 3197.



Bookings and Enquiries Ph: 9708 2500

Web Site: www.newhomeinspections.com.au


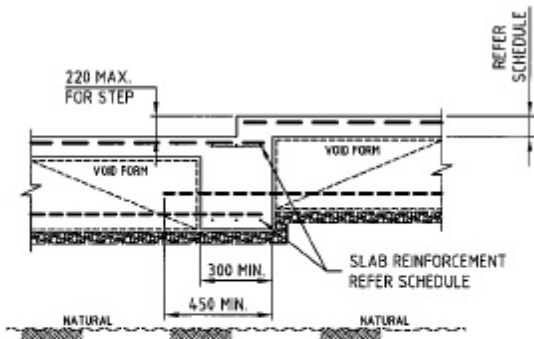
Office: Suite 5, No 2 Interchange Way, Carrum Downs 3201.

SCHEDULE OF BUILDING DEFECTS

Item	Observations, Considerations and Recommendations:-	
<p>1. Polyethylene Vapour Barrier (Vapour Barrier)</p>	<p>The vapour barrier is short to the edge and boxing across the front of Bed 1.</p>  <p>The relevant Australian Standard AS 2870 Slab & Footing Construction, clause 5.3.3 Vapour Barriers and Damp-proofing Membranes, requires that <i>'Vapour barriers shall be installed so that the bottom surface of the slab and beams, including internal beams, is entirely underlaid. The membrane shall extend under the edge beam to ground level.'</i></p> <p>The vapour barrier membrane in this area will need to be properly extended, lapped and sealed prior to any concrete being poured.</p>	
<p>2.</p>	<p>There are a number of punctures in the vapour barrier membrane under the slab, most noticeably where star pickets have been driven through it at the boxing and/or step downs.</p> <p>It is a requirement of Part 3.2.2.6 Vapour Barriers of the BCA that <i>'A vapour barrier must be fully sealed where punctured (unless for service penetrations) with additional polyethylene film and tape.'</i></p> <p>All of the punctures through the vapour barrier must be properly repaired prior to any concrete being poured. Any penetrating star pickets will need to be removed to achieve this and the step down boxing supported on reinforcement bars bearing onto bar chairs.</p>	
<p>3. Reinforcement</p>	<p>There are a number of the N16 bars from within the internal ribs that do not fully lap the perimeter mesh that they are tied across.</p>  <p>It is a requirement of Part 3.2.3.2 Steel Reinforcement of the BCA that <i>'The minimum lap at "T" intersections for steel reinforcing bars is full width across junction.'</i></p> <p>All of the reinforcing bars will need to be rectified and confirmed as being fully lapped and tied to the perimeter mesh, prior to any concrete being poured.</p>	
<p>4.</p>	<p>The ends of a number of other N16 bars from within the internal ribs, as well as the mesh in a lot of areas, are either touching or are too close to the side boxing.</p> 	

Item	Observations, Considerations and Recommendations:-
	 <p data-bbox="413 1435 1528 1602">It is a requirement of Part 3.2.3.2 Steel Reinforcement of the BCA that <i>'Footings and slab-on-ground must have concrete cover between the outermost edge of the reinforcement (including ligatures, tie wire etc.) and the surface of the concrete of not less than 40mm to external exposure.'</i> The requirement is also repeated on Drawing S1 of the approved engineers design.</p> <p data-bbox="413 1625 1528 1701">All of the reinforcement will need to be rectified and confirmed as having this minimum clearance, prior to any concrete being poured.</p>
5.	<p data-bbox="413 1701 1528 1802">The bottom mesh along the right hand side of the Garage, within the deepened edge beam is not being properly supported on chairs or cradles and is currently sitting hard down on the vapour barrier in a number of areas, which it requires a minimum 30mm of clearance from.</p>  <p data-bbox="413 2130 1528 2206">The placement of this mesh will need to be properly rectified, prior to any concrete being poured.</p>

Item	Observations, Considerations and Recommendations:-
6.	<p>The crack control bars (re-entry bars) at the internal corners at Bed 1/Porch and Bed 1/Ensuite are only 1400mm and 1600mm long respectively.</p> <p>The approved engineers design requires these bars to be 2000mm long, which is also a requirement of the BCA and AS 2870 Slab & Footing Construction.</p> <p>The crack control reinforcement bars will need to be extended or replaced with ones of the correct length, prior to any concrete being poured.</p>
7.	<p>The additional N12 bars around the external rib have not been lapped at any of the corners correctly.</p> <div data-bbox="616 438 1297 1317" data-label="Image"> </div> <p>It is a requirement of Part 3.2.3.2 Steel Reinforcement of the BCA that <i>'The minimum lap at "L" intersections for steel reinforcing bars is one outer bar must be bent and continue 500mm (min) around corner.'</i></p> <p>All of the reinforcing bars will need to be rectified and confirmed as being fully lapped and tied to the perimeter mesh, prior to any concrete being poured.</p>
8.	<p>The additional N12 bars around the external rib are not continuous through the step downs into the Porch, Garage and Alfresco area, which will require additional bars to be installed through these step downs and fully lapped and tied to the existing bars, prior to any concrete being poured.</p>
9.	<p>The N16 bars at the bottom of the internal ribs have not been installed and lapped at the step downs as per the approved engineers design but rather run as a continual length through the step downs, which has resulted in them bearing hard down onto the vapour barrier around the Alfresco step down, which it requires a minimum 30mm of clearance from.</p> <div data-bbox="627 1781 1310 2208" data-label="Image"> </div>

Item	Observations, Considerations and Recommendations:-	
	<div style="text-align: center;">  </div> <p>The approved engineers design shows the step down and reinforcement laps should be formed as follows:-</p> <div style="text-align: center;">  <p>TYPICAL STEPDOWN AT INTERNAL RIB DETAIL SCALE = 1:20</p> </div> <p>The formation of the step downs and placement of the reinforcement through them will need to be properly rectified in accordance with the engineers design, prior to any concrete being poured.</p>	
10.	Boxing	The pad for the hot water service to bear on shown down the left hand side of this home has not yet been boxed out or former, which will need to be formed and have the required mesh placed in it, prior to any concrete being poured.
11.		The bottom boxing across the front of the Garage, the side of the front Porch, the rear of the Garage and areas at either end of the rear Alfresco has not been installed, which will result in concrete spill and blow out if not rectified, prior to any concrete being poured.

-:End of Schedule:-

THE STANDARD TERMS & CONDITIONS THAT WE PROVIDED OUR SERVICES SUBJECT TO:-

1. Engagement

Our engagement is confined to that of a Building Consultant and not that of a Building Surveyor or Inspector as defined in the Building Act of 1993. Our inspectors do not hold qualifications as Engineers, Land Surveyors or Pest & Timber Infestation Inspector and therefore have not check and make no comment on:- The structural integrity of the building; The capacity and/or consistency of the sites foundation material; The correctness of the buildings footing system; The site and roof drainage systems; The title boundaries and the location of any easements and/or their assets; The buildings boundary setbacks; Compliance with any requirement of Part 4, Siting, of the Building Regulations; Glazing for compliance with their codes and standards; The presents of termites & borers or at the completeness of any termite risk management procedures and barriers; All other requirements that are the responsibility of the above mentioned professions.

2. Assumptions

2.1. Our inspections are carried out on the quality of the fixtures, fittings and materials as installed and presented at the time of our site attendance and we rely on as fact that they have been installed in accordance with their manufacturer's installation instructions and/or designer's specification, including all associated and substrate works. 2.2. We assume that all items identified in our previous inspection report/s in relation to this property have been rectified to the owner's satisfaction, with the exception of any item that is still fully visible and capable of being properly inspected by us, and that our inspector believes still requires further rectification and/or justification, will be carried forward into this report.

3. Interpretation

3.1. Words in the singular include the plural and vice versa, according to the requirements of their context; 3.2. Words importing a gender include every gender; 3.3. References to a person includes an individual, firm or corporate or unincorporated body and vice versa, according to the requirements of the context.

4. Discrepancies or Ambiguities

4.1. Due to the fast moving nature under which our reports are produced they are provided on an E&OE basis; 4.2. If a reader of this report believes there may be a discrepancy or ambiguity contained within it they should notify the writer immediately, via email, for clarification of the suspected discrepancy or ambiguity.

5. Documentation

Documentation provided to us to facilitate the carrying out of our inspections and to prepare our reports and/or other correspondence is only viewed on an informal basis and we make no certification that the building has been constructed in accordance with it.

6. Photographs

6.1. Photographs provided within our reports will have been taken at the subject property on the day of our inspection by our inspector, unless otherwise noted. 6.2. Photographs are provided for the clients understanding of the item identified and any defects noted are not limited to those shown in the photograph provided within this report. 6.3. We do not provide binding comment or opinion on photographs provided to us on any rectification work allegedly carried out on any item identified within our reports, regardless of who provided it, and all comments that we do provide must only ever be considered to be of a loose general nature only.

7. Non-Destructive Inspection

Our inspections are carried out on a non-destructive basis and exclude any area that would require the dismantling, removal or relocation of any fixture, fitting, plaster, timber, cladding, insulation, sarking, membrane, roof covering, lining, steelwork, scaffolding or excavation of any soil.

8. Measurements/Levels

8.1. Measurements taken during our inspections are with a standard 4 fold carpenters ruler or 8 metre steel tape; and levels with either a 900 or 2000mm long spirit level, unless otherwise stated within this report; 8.2. Floor levels are only checked if the area/rooms are clear of builder's equipment, materials, debris, and furniture. Further, as floor levels need only be rectified just prior to the installation of the floor coverings they will be treated as a builder's Work in Progress until such time, unless otherwise stated within this report, and we rely on as fact that the builder levels and straightens all ceiling lines prior to the installation of plaster.

9. Access

Our inspections are limited to areas that can only be safely accessed with the standard equipment that we carry, being an 1800mm high set of aluminium steps, and that can be readily accessed without causing our inspectors to breach any of WorkSafe Victoria's current Code of Practices or any part of the current Occupational Health and Safety Act.

10. Services, Appliances, Plant, Equipment and Materials

We do not check or test for the correctness, appropriateness, sizing, grading, capacity, installation, certification, and completeness of any service, plant, equipment, appliances and materials i.e. heaters; hot water units; air conditioners; evaporative coolers; ovens; hotplates; dishwashers; rangehoods; spa pump; electricity supply; electrical and data wiring, switches and fittings; smoke detectors; duct work; insulation R-values; gas lines and fittings; water supply; sewer drains, stormwater and agricultural drains; solar panels; garage doors operating mechanisms; framing members, bracing and tie-down etc.

11. Copyright

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13. Reference

References contained within this report to the Building Acts & Regulations, the Building Code of Australia (BCA), any Australian Standards, a Building Commissions document, a manufacturers technical data sheet or installation instruction, or any other document are neither exhaustive, complete or a substitute for the original document and are provided to facilitate the understanding of this report only. We therefore accept no responsibility for any loss, damage or expense incurred for reliance upon the part references contained within this report.

14. Exclusions

- 14.1. Defects outside the scope of our client brief;
- 14.2. Defects not evident by visual inspection, or only visible from outside the subject properties boundary lines;
- 14.3. Defects in inaccessible parts of the building or site, including but not limited to, areas with limited boundary wall set-backs, within the roof cavity space and sub-floor areas;
- 14.4. Defects only apparent under artificial light;
- 14.5. Defects only apparent in different weather or environmental conditions as to those prevailing at the time of our inspectors attendance;
- 14.6. Defects not consider significant enough to warrant any rectification work at the time of our inspectors attendance;
- 14.7. Defects that would be rectified as a consequence of any other defect detailed within this report;
- 14.8. Defects that our inspector considers to be Work in Progress or already clearly marked for rectification by your builder;
- 14.9. Check measure of rooms, walls and the overall building, for size, height, parallel and squareness;
- 14.10. Compliance with contractual documents such as electrical, heating, cooling, joinery, detailed plans; and/or colour selection specifications.
- 14.11. Landscaping, water tanks, retaining walls and any other structures outside the roofline of the main building;
- 14.12. Enquiries of Councils, the relevant Building Surveyor and/or any Statutory Authority;
- 14.13. Items that meet accepted industry practices and/or generally comply with the Performance Requirements of the BCA even if they are not meeting the Deemed-to-Satisfy provisions of that document.
- 14.14. The identification and reporting of inconsequential paint touch-ups, minor plaster and other small cosmetic defects.
- 14.15. The identification and reporting of minor cracking of cornice and architrave joints; minor alignment of cupboard doors and draw fronts; minor alignment of doors and their latches as it is our considered opinion that these items are best addressed at the maintenance stage.

15. VCAT Compliance

In the normal course of quoting our services, we do not allow to present our reports in accordance with Practice Note 2 under Section 158 of the Victorian Civil & Administrative Tribunal Act 1998. Therefore, if this report is to be submitted to VCAT an additional addendum will have to be prepared by us to be attached to it.